

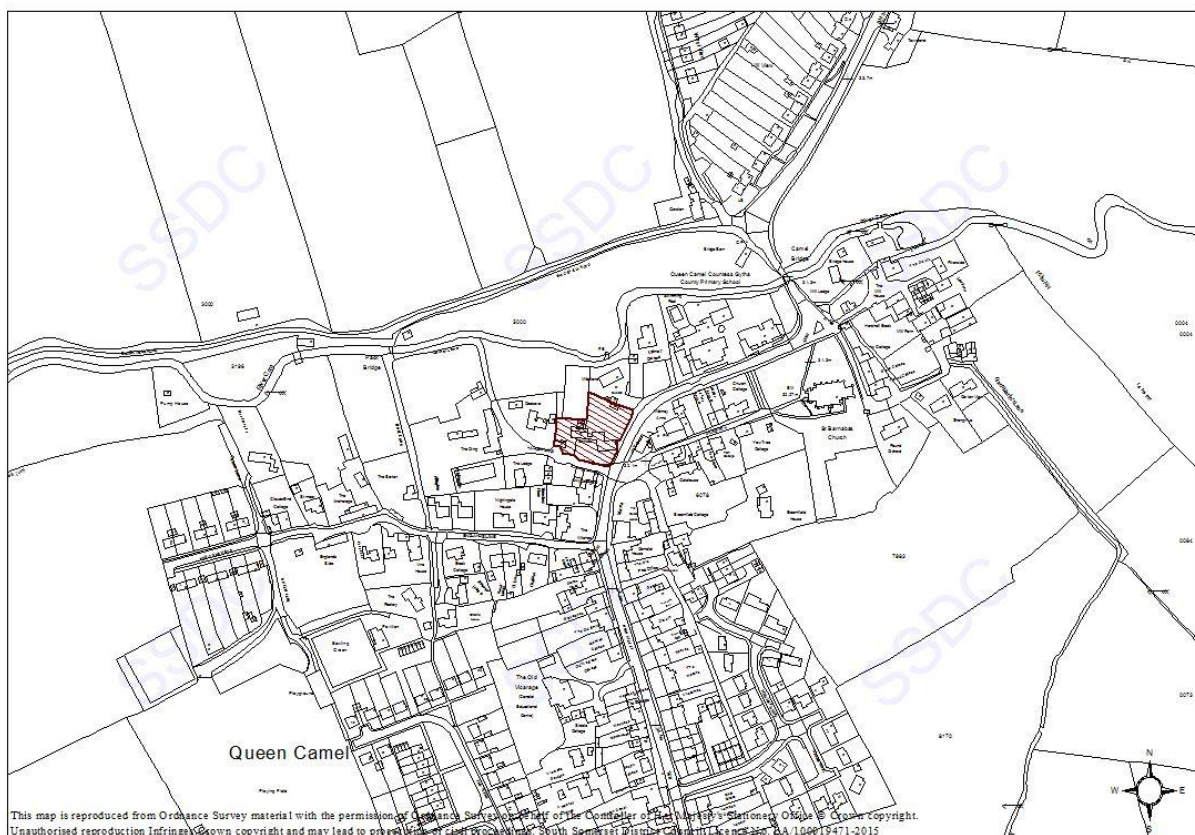
AREA EAST COMMITTEE

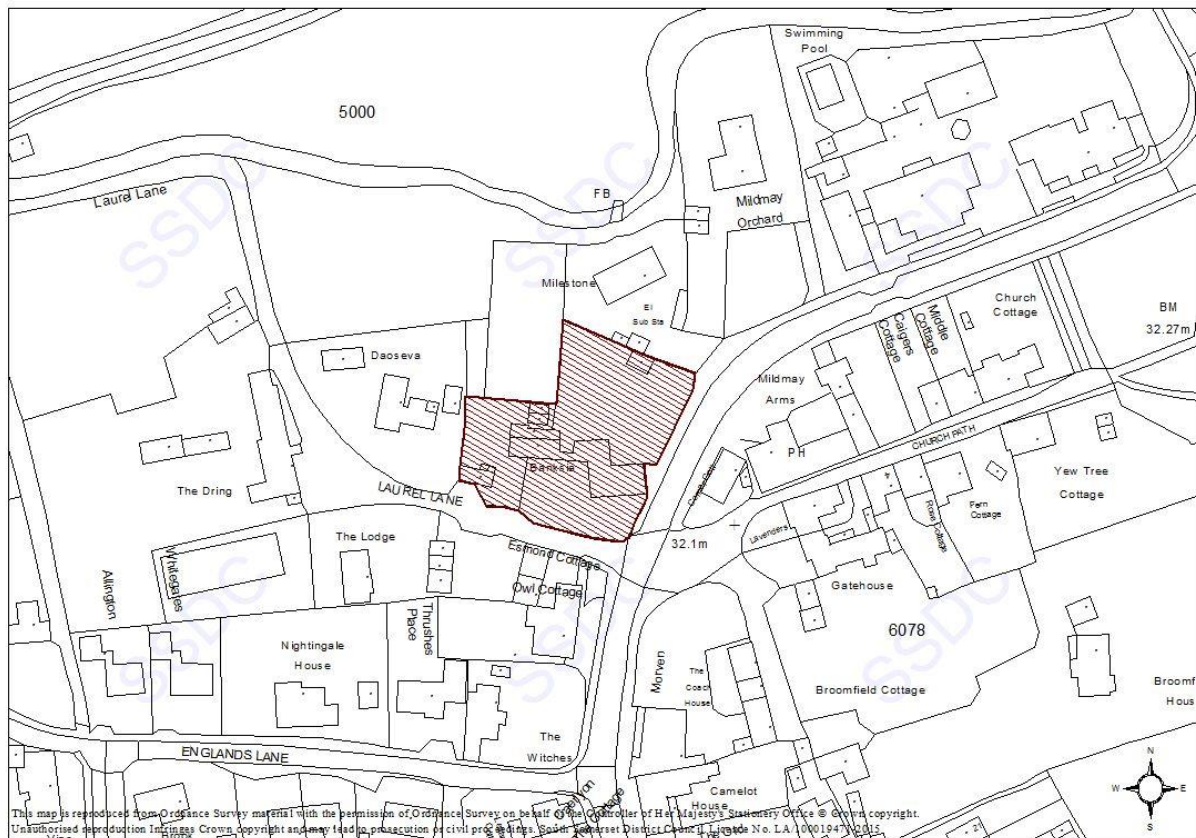
Officer Report On Planning Application: 15/04449/LBC

Proposal :	Alterations, including the erection of a carport and store, creation of entrance, construction of porch, pergola and alterations to store (GR 359557/124925).
Site Address:	Banksia High Street Queen Camel
Parish:	Queen Camel
CAMELOT Ward (SSDC Member)	Cllr Michael Lewis
Recommending Case Officer:	Dominic Heath-Coleman Tel: 01935 462643 Email: dominic.heath-coleman@southsomerset.gov.uk
Target date :	24th November 2015
Applicant :	Mr And Mrs Paterson
Agent: (no agent if blank)	Boon Brown Architects Motivo Alvington Yeovil Somerset BA20 2FG
Application Type :	Other LBC Alteration

The application is before the committee, at the request of the ward members and with the agreement of the area chair, to allow the concerns of the parish council in relation to highway safety to be discussed in a public forum.

SITE DESCRIPTION AND PROPOSAL





The proposal seeks partially retrospective consent for alterations including the erection of a carport and store, the formation of a vehicular access, the construction of a porch and pergola and alterations to an existing outbuilding. The site consists of a two storey detached house, finished in natural stone with a slate roof. The building has an attached annex finished in natural stone and timber boarding with a clay tiled roof. Both the car port and the altered outbuilding will be finished in natural stone under clay tiled roofs. The proposed porch will be finished in metal above a natural stone plinth. The proposed pergola has already been constructed out of white painted timber. The house is a grade II listed building. The property is close to various residential properties including several grade II listed buildings. The property is within a conservation area as defined by the local plan.

HISTORY

15/04448/FUL - Alterations, including the erection of a carport and store, creation of entrance, construction of porch, pergola and alterations to store - Pending consideration

14/04868/FUL - Erection of a 4 bedroom dwellinghouse - Application permitted with conditions 23/12/2014

14/04867/FUL - Extension to existing barn and conversion to provide 2 bedroom annexe - Application permitted with conditions 02/01/2015

14/05533/LBC - Extension to existing barn and conversion to provide 2 bedroom dwelling house - Application permitted with conditions 13/01/2015

14/01449/LBC - Proposed alterations to internal layout, external alterations to include removal of a section of rear wall and formation of a single storey rear extension - Application permitted with conditions 02/06/2014

POLICY

Section 16 of the Listed Building and Conservation Areas Act is the starting point for the exercise of

listed building control. This places a statutory requirement on local planning authorities to 'have special regard to the desirability of preserving the building or its setting or any features of special architectural or historic interest which it possesses'

NPPF: Chapter 12 - Conserving and Enhancing Historic Environment is applicable. This advises that when considering the impact of a proposed development on the significance of a designated heritage asset, great weight should be given to the asset's conservation. The more important the asset, the greater the weight should be. Significance can be harmed or lost through alteration or destruction of the heritage asset or development within its setting. As heritage assets are irreplaceable, any harm or loss should require clear and convincing justification. Substantial harm to or loss of a grade II listed building, park or garden should be exceptional. Substantial harm to or loss of designated heritage assets of the highest significance, notably scheduled monuments, protected wreck sites, battlefields, grade I and II* listed buildings, grade I and II* registered parks and gardens, and World Heritage Sites, should be wholly exceptional.

Whilst Section 38(6) of the 2004 Planning Act is not relevant to this listed building application, the following policies should be considered in the context of the application, as these policies are in accordance with the NPPF:

Relevant Development Plan Documents

Policies of the South Somerset Local Plan (2006-2028)

Policy EQ3 - Historic Environment

CONSULTATIONS

Parish Council - Notes the comments of the SSDC Highways Consultant, but voice a concern over the adequacy of the visibility splay, control of run of surface water and adequacy of the dropped kerb. They request due consideration is given to these concerns.

SSDC Conservation Officer - Welcomes the proposed retention of the store and suggests a condition to control detail of its finish. Notes that the pergola has already been constructed and states that its form and location are considered to be acceptable. He states that the principle of a decorative porch is acceptable subject to a condition requiring full details of the structure.

He states that the new access and carport are the most significant elements of the application. He states that the proposed access has previously been discouraged as the boundary wall is a significant component of the building's setting. However, he notes that there are several oddities with the existing wall and that it has clearly been altered in the past. On the receipt of amended plans he confirmed that the benefits offered outweigh the harm caused by forming the opening and he is therefore satisfied that the proposal is in accordance with paragraph 134 of the NPPF. He suggests the use of conditions to secure full details of the work to the boundary wall, car port, covered outside seating area, and store.

REPRESENTATIONS

None received

CONSIDERATIONS

The parish council raised a concern in relation to the highway aspects of the scheme. However the highways aspects cannot be considered as part of a listed building consent. Their concerns are considered in full as part of the concurrent application for planning permission.

As the property is a grade II listed building within a conservation area, the SSDC conservation officer was consulted in regard to visual amenity. On the receipt of amended plans he raised no objections to the scheme, considering the benefits offered to outweigh the harm caused by forming the opening.

As the opinion of the conservation officer is considered to hold considerable weight in applications of this nature, the proposal is not considered to have a negative impact on the character or setting of the listed

building.

It is therefore considered that the proposal does not adversely affect the character of the listed building in accordance with the NPPF, and policy EQ3 of the South Somerset Local Plan.

As such the proposal should be recommended for approval.

RECOMMENDATION

Grant consent for the following reason:

01. The proposal, by reason of its materials and design is considered to respect the historic and architectural interests of the building and is in accordance with policy EQ3 of the South Somerset Local Plan, and the provisions of the NPPF.

SUBJECT TO THE FOLLOWING:

01. The works hereby granted consent shall be begun before the expiration of three years from the date of this consent.

Reason: As required by Section 16(1) of the Planning (Listed Buildings and Conservation Areas) Act 1990.

02. The development hereby permitted shall be carried out in accordance with the following approved plans: 3381/201, 3381/202, 3381/206, 3381/210, 3381/212 received 29 September 2015, and 3381/203A received 02 November 2015

Reason: For the avoidance of doubt and in the interests of proper planning.

03. No further work shall be carried out to alter the store building (Drawing no. 3381/206) unless full details of work to the building including details of proposed materials and the provision of samples where necessary have been submitted to and approved in writing by the Local Planning Authority.

Reason: To safeguard the character and appearance of the listed building and to accord with Policies EQ2 and EQ3 of the South Somerset Local Plan.

04. No work shall be carried out to alter the boundary wall unless full details of its repair and alteration have been submitted to and approved in writing by the Local Planning Authority. This shall include details of any rebuilding required, a sample panel of repointing and a sample area of coping, both to be prepared on site and made available for inspection, and details of the roadside gates. Once agreed the work shall be carried out in strict accordance with the agreed details unless written agreement is given to any variation.

Reason: To safeguard the character and appearance of the listed building and to accord with Policies EQ2 and EQ3 of the South Somerset Local Plan.

05. No work shall be carried out to construct the Car Port, Store and Covered Outside Seating Area within the garden unless full details of these elements have been submitted to and approved in writing by the Local Planning Authority. This shall include details of the materials, including the provision of samples where appropriate, details of rainwater goods and joinery. Once agreed the work shall be carried out in strict accordance with the agreed details unless written agreement is given to any variation.

Reason: To safeguard the character and appearance of the listed building and to accord with Policies EQ2 and EQ3 of the South Somerset Local Plan.

06. No work shall be carried out to construct the porch hereby approved unless full details of the porch have been submitted to and approved in writing by the Local Planning Authority. This shall include details of the materials, including the provision of samples where appropriate, details of

rainwater goods and joinery. Once agreed the work shall be carried out in strict accordance with the agreed details unless written agreement is given to any variation.

Reason: To safeguard the character and appearance of the listed building and to accord with Policies EQ2 and EQ3 of the South Somerset Local Plan.